



Fence Requirements Village of Gurnee Building & Safety Division



1. SUBMIT A BUILDING PERMIT APPLICATION.

INCLUDE THE FOLLOWING WITH YOUR SUBMITTAL:

- A. **Legal Plat of Survey:** Please provide a copy of the plat of survey. Indicate on the plat where the fence is to be installed (either with highlighter or red pen).
- B. **Proposal From Your Contractor:** Provide a copy of the proposal/contract with your fence contractor depicting sizes and style of fence. If you are installing the fence yourself, you will note on the front of the application the sizes and style of fencing.
- C. **Zoning Ordinance Requirements:** Verify you have complied with all Zoning Ordinance requirements – copy attached.

2. Please Note:

- A. THE ISSUANCE OF THIS PERMIT DOES NOT RELIEVE THE PERMIT HOLDER FROM COMPLIANCE WITH ANY RELEVANT COVENANTS, CONDITIONS, OR RESTRICTIONS OF RECORD APPLICABLE TO THE SUBJECT PROPERTY.
- B. It is the responsibility of the property owner to determine the correct placement of the fence on his/her property. The Village of Gurnee is NOT authorized to make determination as to whether the fence is located within the ownership parcel.
- C. A review is not performed to verify fence will meet future pool requirements (in case pool is ever planned).
- D. NOTE: If fence is to be installed within a utility easement, a utility company doing work in said easement can remove a portion of the fence and not be responsible for it. If fence is to be installed within a drainage easement, measures may be required so as not to impede the flow of water.

3. Once permit is approved and paid for, verify:

- A. J.U.L.I.E. has been contacted prior to digging (1-800-892-0123 or 811)
- B. No changes have been made from the approved plans prior to installation
- C. Work must commence within 180 days of issuance of permit

4. After Fence Has Been Installed:

- A. Contact the Building Safety Division at (847)599-7550 to schedule a final inspection.

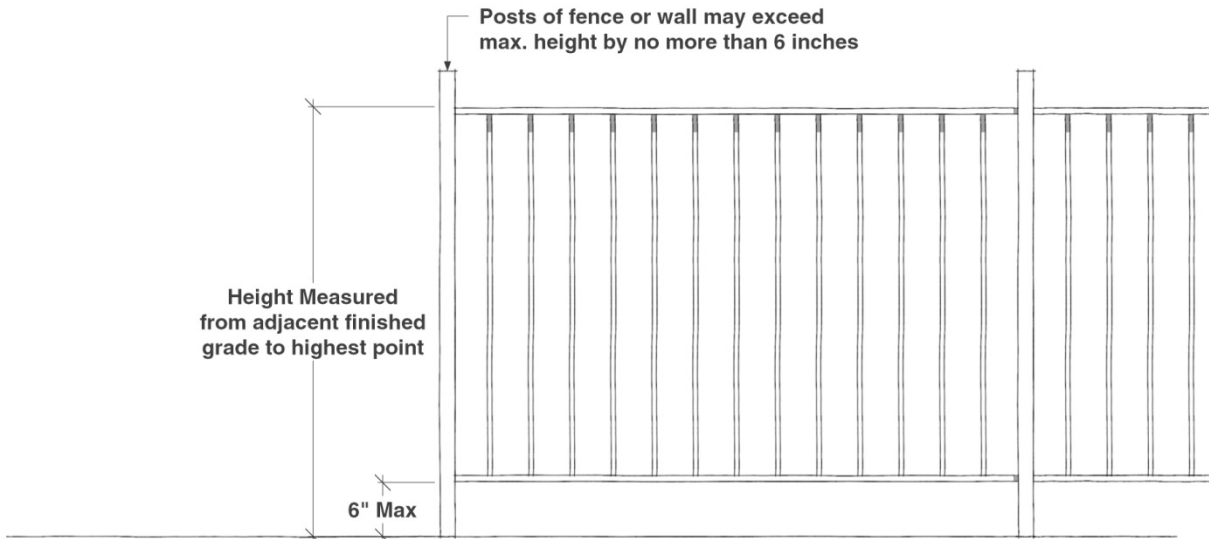
Attachment: Sec 10.2.9 of Zoning Ordinance

Section 10.2.9 of Zoning Ordinance

Fence or Wall

a. General Requirements

- (1) Every fence and wall must be maintained in a good and safe condition at all times. Every damaged or missing element of any fence or wall must be repaired, removed, or replaced immediately.
- (2) Fence and wall height is measured from the adjacent finished grade to the highest point, except that the posts of a fence or wall may exceed the permitted height by six inches.
- (3) Fence height restrictions do not apply to a semi-open fence on property greater than one acre in area, erected to enclose an outdoor recreational game court. However, all such fences must be setback from any lot line a minimum of ten feet.
- (4) Fences or walls that enclose personal recreation game courts are limited to a maximum height of ten feet.
- (5) The bottom of a fence shall be installed a maximum vertical distance of six inches above the adjacent finished grade for the entire length of the fence.
- (6) When fence requirements are a condition of a use or site element, as described in Article 8 or another section of this Ordinance, such requirements control.



b. Residential Districts

The following regulations apply to fences or walls in residential districts.

(1) Front Setback

- i.** A fence or wall located in any front setback shall be limited to three (3) feet in height unless it is a semi-open fence, in which case it is limited to a maximum height of four (4) feet.

(2) Corner side setback

i. Corner Lot

- a.** A semi-open fence or wall limited to four (4) feet in height, or a closed fence or wall limited to three (3) feet in height, may be located in any portion of a corner side setback.
- b.** A fence or wall, limited to six (6) feet in height, may be located in a corner side setback from the wall of the principal structure associated with the rear yard to the rear property line to enclose the corner side yard.

ii. Reverse Corner Lot

- a.** A semi-open fence or wall limited to four (4) feet in height, or a closed fence or wall limited to three (3) feet in height, may be located in any portion of a reverse corner side setback.
- b.** A fence or wall, limited to six (6) feet in height, may be located in a corner side setback from the wall of the principal structure associated with the rear yard to the rear property line to enclose the corner side yard subject to the fence being setback two-thirds (2/3) of the front yard setback for the lot to the rear.

(3) Interior side setback

- i.** A fence or wall, limited to six (6) feet in height, may be located in an interior side setback.

(4) Rear setback

- i.** A fence or wall, limited to six (6) feet in height, may be located in a rear setback.

(5) A fence or wall may be installed within any yard outside of the required setback on a residential lot, but is limited to a maximum of six feet in height.

(6) A fence of wall is limited to the heights noted above except as provided for in 10.2.9.a.4, 10.2.9.b.8, and 10.2.9.b.9.

(7) For a through lot where a front lot line has previously been established or where all structures on the block have established front lot lines along the same street line, fences and walls may be located at the rear property line subject to the height limitations in the rear setbacks. For through lots where no front lot line has not been previously established or where all lots have not established front lot lines along the same street line, the Zoning Administrator will determine how fences and walls may be installed subject to front and rear setback height limitations.

(8) When the yard of a residential lot abuts railroad tracks or one of the roadways listed in Paragraph (a) below, the following regulations apply.

(i) The applicable roadways are as follows:

1. Illinois Rt. 45
2. Illinois Rt. 21
3. Illinois Rt. 132
4. Washington Street
5. Hunt Club Road
6. Rt. 41
7. Rt. 120
8. I-94

(ii) For these lots, fences or walls are allowed to a maximum height of eight feet in the front, corner side, and rear setbacks

(9) Where a residential lot abuts a non-residential district, the residential lot owner is permitted to erect a fence or wall not to exceed ten feet in height along the lot line that abuts such district.

(10) The following fence or wall materials are prohibited:

- (i)** Barbed or razor wire
- (ii)** Aboveground electrically charged fences or walls
- (iii)** Snow fences, except for exclusive control of snow between November 1 and April 15 and authorized by the Zoning Administrator for special events or construction sites
- (iv)** Solid plywood, scrap lumber, temporary fencing, and similar non-customary materials
- (v)** Common concrete or cinderblock

(11) Maintenance and replacement of non-structural elements of a fence or wall may be performed in kind without a building permit, so long as there is no change in height or location.

c. Non-Residential Districts

The following regulations apply to fences or walls in non-residential districts.

- (1) A fence or wall may be located in a front or corner side yard setback and is limited to a maximum height of four feet, except as allowed in 10.2.9.c.2 and 10.2.9.c.6.
- (2) A fence or wall a maximum of 10 feet in height may be located in that part of the corner side setback between the rear yard and the rear lot line to enclose the resulting rear yard.
- (3) A fence or wall may be located in an interior side or rear setback and is limited to a maximum height of ten feet.
- (4) A fence or wall may be located outside of any setback, but is limited to ten feet in height.
- (5) If a residential use is located in a non-residential district and is located on a reverse corner lot or a through lot, the residential fence regulations for such lots apply.
- (6) On a reverse corner lot, a fence a maximum of 10 feet in height is allowed to encroach into the corner side setback a distance equal to two-thirds of the required front setback on the adjacent property located to the rear.
- (7) For through lots, one of the two lot lines abutting public streets will be designated by the Zoning Administrator as the front lot line, unless a front lot line has been previously established on one or more lots located on the same block as a through lot(s) and all have established front lot lines along the same street, then the lot line facing this street is the front lot line.
- (8) Barbed or razor wire fences or walls are permitted as long as the barbed or razor wire is not located along a public sidewalk or right-of-way and the barbed or razor wire is more than six feet above finished grade.
- (9) Aboveground electrically charged fences and/or walls require a special use permit and are prohibited along or near a public sidewalk.