

NOTE: This meeting is open to the public, but discretion in attending and social distancing is encouraged when possible. Any public comment can be sent to the Planning and Zoning Board at PZBoard@village.gurnee.il.us.

**VILLAGE OF GURNEE
PLANNING AND ZONING BOARD AGENDA**

DATE: October 12, 2022
TIME: 7:30 P.M.
PLACE: Gurnee Village Hall, 325 North O'Plaine Road

- 1. Call to Order and Roll Call**
- 2. Pledge of Allegiance**
- 3. Approval of the PZB's September 7, 2022 Meeting Minutes**
- 4. Public Hearing: Zoning Map Amendment, Special Use Permits, Site Plan Review, and Minor Sign Exceptions: Patson, Inc. d/b/a TransChicago Truck Group**

The subject property consists of approximately 26-acres located at 775 S. IL Route 21 (east side of IL Route 21 and south of Manchester Drive). The applicant is seeking approval of the following:

- a) Zoning Map Amendment to rezone the subject property from O-2 PUD, Office Campus District as a Planned Unit Development, to C-2, Community Commercial District;
- b) Special Use Permit to allow the establishment and operation of a vehicle (truck) dealership with outdoor storage and display on the subject property;
- c) Special Use Permit to allow the proposed dealership's directional signs to be 9 sq. ft. (code allowance of 4 sq. ft.);
- d) Special Use Permit for Design Standards associated with the dealership to allow departures from : 1) the requirement that the west elevation, which is over 100 feet in length, have a 2-foot minimum vertical variation in roof height that is repeated, on-center, no more than every 50 linear feet; and 2) the requirement that the west facade provides 50% transparency between 2 and 10 feet above grade (at 30.2%);
- e) Special Use Permit for Landscaping associated with the dealership to allow departures from: 1) parking lot landscaping island requirements; and 2) the requirement that 10% of area internal to the parking lot/display lot be landscaped (green);
- f) Minor sign exception to allow an increase to the height of the ground sign by 50% (from 12 feet to 18 feet);
- g) Minor sign exception to allow a commercial message on directional signage;
- h) Site Plan Review for the proposed truck dealership; and
- i) Such other relief as may be necessary to accomplish the applicant's development plan.

5. Next Meeting Date: October 19, 2022

6. Public Comment

7. Adjournment

The Village of Gurnee is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact Assistant to the Village Administrator, Austin Pollack, at (847) 599-7514 promptly to allow the Village to make reasonable accommodations for those persons.

Comments regarding any of the agenda items can be e-mailed to the Planning and Zoning Board at the following address: pzboard@village.gurnee.il.us. Full copies of applications and support material can be found and viewed at the Warren-Newport Public Library the Saturday before the Planning and Zoning Board meeting and at Village Hall during normal business hours.



PROJECT SUMMARY
5330 MANCHESTER DRIVE
GURNEE, ILLINOIS

The information provided herein is gathered from sources and plans that are currently being developed. The project details are subject to change. No warranty or guaranty is provided relating to the accuracy of the statements and exhibits contained herein.

GURNEE PROJECT TEAM



GENERAL CONTRACTORS &
UNION SUBCONTRACTORS
TBD



SITE LOCATION



SITE

PROJECT SUMMARY

Project Use

- ▶ Build-To-Suit for TransChicago Truck Group
- ▶ Dealership with Associated Office, Repair and Parts Distribution
- ▶ Office, Retail, Parts Warehouse and Maintenance / Repair
- ▶ 50 New Employees, Growing to 100 in 3 Years
- ▶ Office and Retail Staff
- ▶ Union Service Technicians, Parts and Customer Service Professionals

Site Specifications

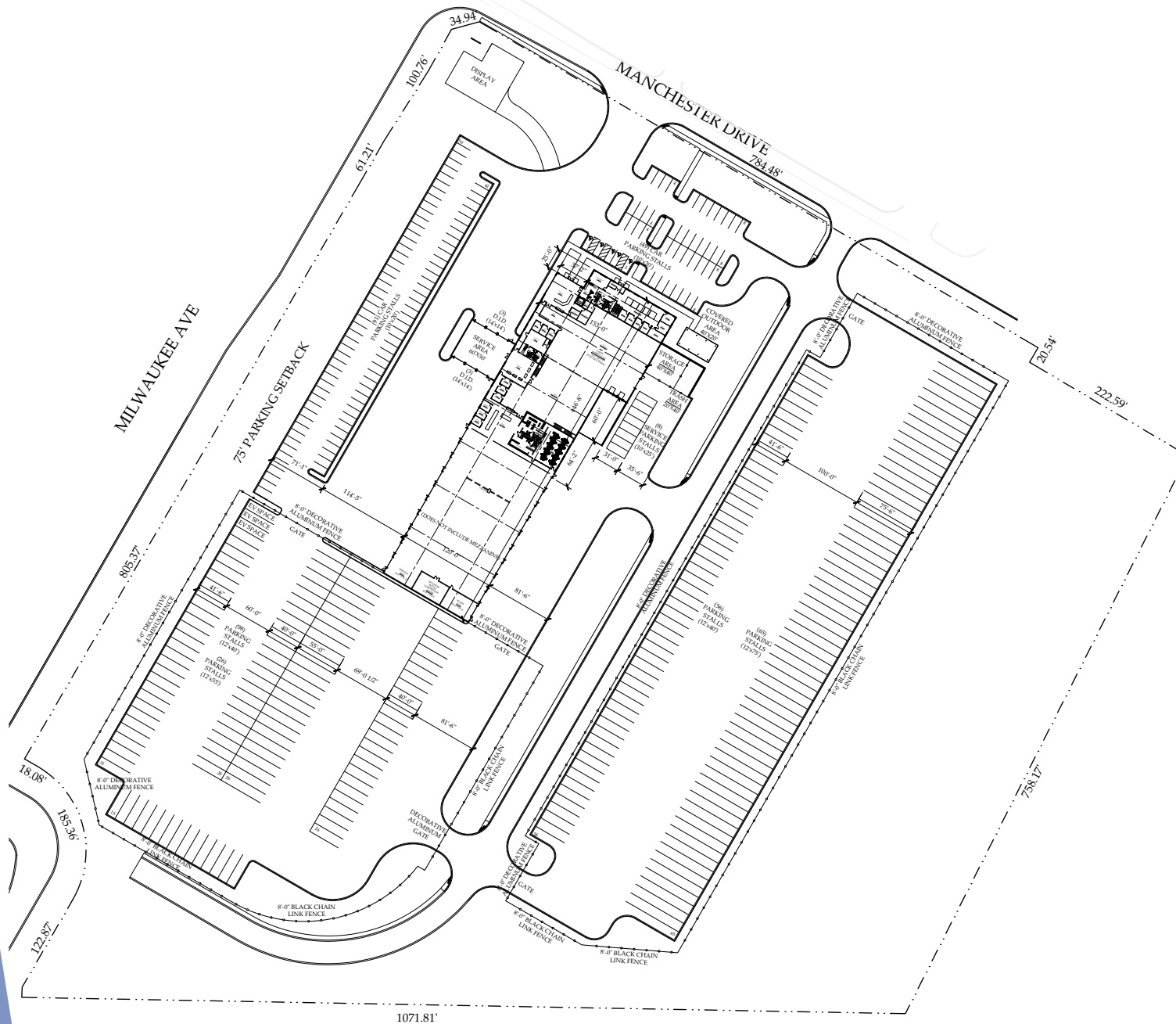
- ▶ 25.34 Acres
- ▶ Single Point of Access on Route 21 (Milwaukee Avenue)
- ▶ 201' building setback to Milwaukee Avenue
- ▶ 190' building setback to Manchester Drive
- ▶ 112 Automobile Parking Spaces and 233 Commercial Vehicle Parking Spaces
- ▶ Secured, Lighted and Paved
- ▶ 135 New Trees / 313 New Shrubs / 234 New Plants

Building

- ▶ 68,140 Square Foot Building
- ▶ Office, Retail, Parts Warehouse, Maintenance and Repair
- ▶ Modern Precast Concrete, Aluminum Composite Panel and Glass Façade
- ▶ 4-Exterior Wall Color Paint Pattern
- ▶ 33' / 30' / 24' Exterior Building Wall Height

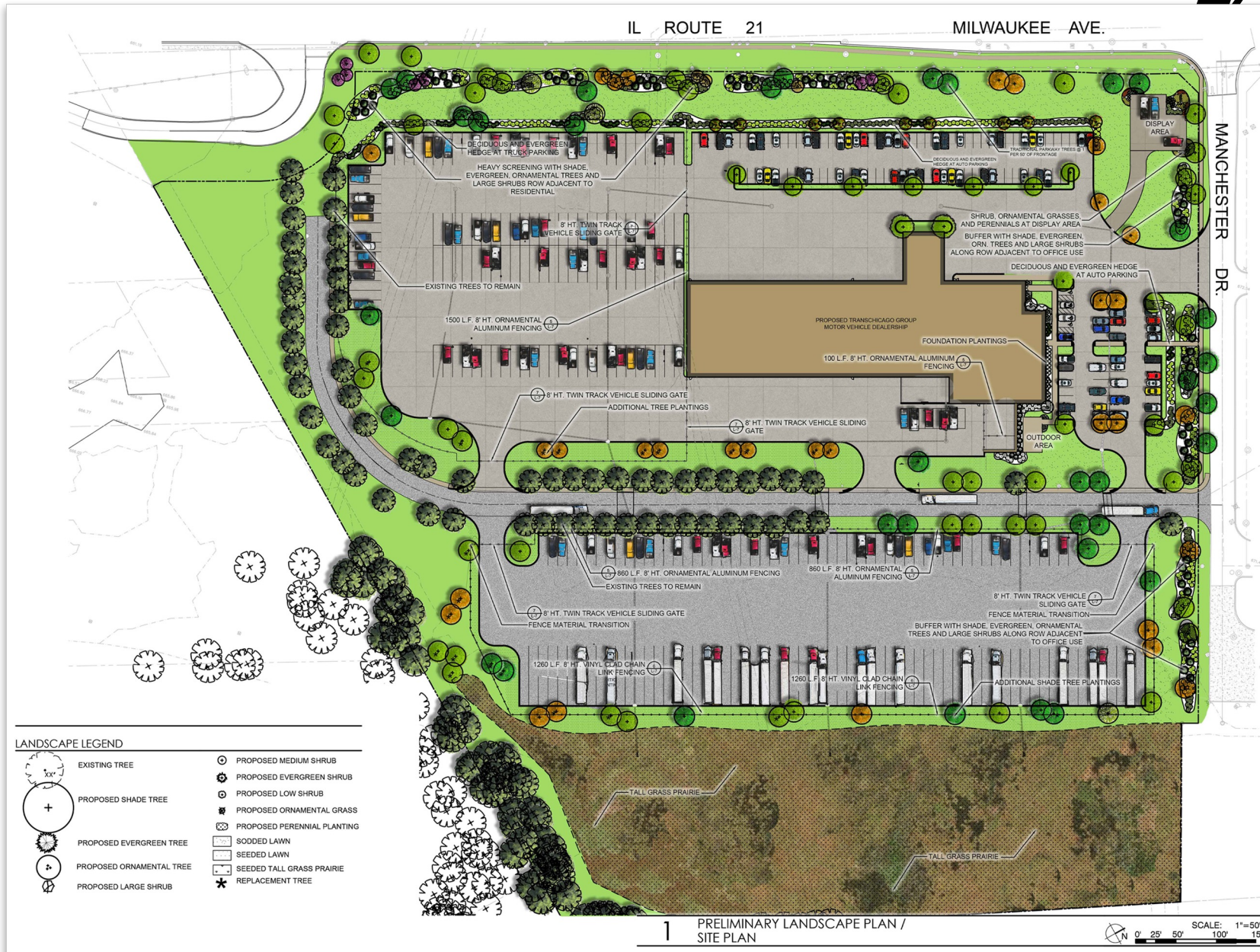


SITE AND BUILDING PLAN



Area	Approximate Size
Office	13,220 SF
Retail	1,829 SF
Employee Lounge	3,032 SF
Parts Warehouse	22,253 SF
Service	27,806 SF
Total	68,140 SF

LANDSCAPING PLAN



LANDSCAPE LEGEND

- | | | | |
|--|--------------------------|--|-----------------------------|
| | EXISTING TREE | | PROPOSED MEDIUM SHRUB |
| | PROPOSED SHADE TREE | | PROPOSED EVERGREEN SHRUB |
| | PROPOSED EVERGREEN TREE | | PROPOSED LOW SHRUB |
| | PROPOSED ORNAMENTAL TREE | | PROPOSED ORNAMENTAL GRASS |
| | PROPOSED LARGE SHRUB | | PROPOSED PERENNIAL PLANTING |
| | | | SODDED LAWN |
| | | | SEEDED LAWN |
| | | | SEEDED TALL GRASS PRAIRIE |
| | | | REPLACEMENT TREE |

1 PRELIMINARY LANDSCAPE PLAN / SITE PLAN

SCALE: 1"=50'
0' 25' 50' 100' 150'

BUILDING ELEVATIONS



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

BUILDING RENDERING



ABOUT TRANSCHICAGO TRUCK GROUP

TransChicago Truck Group

- ▶ Patson, Inc., d/b/a TransChicago Truck Group, is a leader in truck and truck-related vehicle and product sales and services
- ▶ Established in 1982, family owned
- ▶ Currently operating facilities in Elmhurst and Shorewood, Illinois and Gary, Indiana
- ▶ Freightliner, Western Star & Isuzu Dealership



TRANSCHICAGO & THE COMMUNITY

Community Involvement

- ▶ We proudly support our local communities in various ways:
 - ▶ Partner with local area schools to provide mentorship and apprenticeship programs.
 - ▶ Sponsor local youth athletic programs and teams.
 - ▶ Donate our retired parts vans to many deserving charities.



BUSINESS OPERATIONS SUMMARY

New & Used Truck Sales Hours

- ▶ Monday-Friday
8:30 AM - 5:00 PM

Truck Parts & Service Hours

- ▶ Monday-Friday
6:00 AM - 12:00 AM
- ▶ Saturday
7:00 AM - 3:30 PM

Repairs

- ▶ All repairs are completed inside our proposed state-of-the-art building.

Site Lighting

- ▶ Site lighting meets all Village standards with a reduction to 29% one hour after closing.



ANTICIPATED TRAFFIC ALLOCATION

PASSENGER VEHICLES
Automobiles, Pickups, Vans
84% OF DAILY TRAFFIC



SINGLE-UNIT TRUCKS
Box Trucks, Delivery Vans
13% OF DAILY TRAFFIC



SEMI-TRUCKS
Cabs-only, Tractor Trailers
3% OF DAILY TRAFFIC



ANTICIPATED TRAFFIC ALLOCATION

- ▶ IDOT traffic signal may be installed at the Manchester / Milwaukee Rd. intersection to accommodate our business.
 - ▶ Potential for safer fire station equipment transfer in and out of the newly built Station #3 will help improve public safety.
- ▶ This location would keep our customers from traveling through the center of town.
 - ▶ Our customers will use Milwaukee Rd. / Rte. 120 interstate access points.
 - ▶ Easy access on and off main Gurnee arterial roads will keep our business traffic contained.
- ▶ Ours is a B2B footprint.
 - ▶ Vast majority of traffic generated by our business is during traditional business hours.
 - ▶ *Findings supported by the traffic study conducted and submitted to the Village of Gurnee as part of our project documents.*



COMMUNITY BENEFITS

- ▶ Community Benefits
 - ▶ 50 new employees at opening
 - ▶ Growing to 100 new employees within 3 years
 - ▶ High-paying jobs with exceptional benefits
- ▶ Economic Benefits
 - ▶ Increased Real Estate Property Taxes
 - ▶ Sales Tax generation on new and used trucks and parts
 - ▶ Sales Tax generation at local businesses from our employees & customers
- ▶ Sustainability
 - ▶ Planned to include multiple EV charging stations for employee and customer use
 - ▶ Exceeding Local Energy Code and Sustainability Requirements
 - ▶ Exceeding Local Landscape Requirements and includes 135 New Trees



Summary of Applicant Requests

- ▶ Rezoning from 0-2 Office Campus District PUD to C-2 Community Commercial District
- ▶ Special Use for Motor Vehicle (Truck) Dealership
- ▶ Minor Sign Exceptions or Special Use Permits for Signage
- ▶ Special Use Permit for Landscaping
- ▶ Site Plan Approval

THANK YOU
FOR YOUR TIME AND CONSIDERATION